

PROJECT TITLE:

VAN EDEN MOUNTAIN HOME PRELIMINARY DESIGN

PROJECT INFORMATION:

ADDRESS

333 VAN EDEN ROAD
IDAHO SPRINGS, CO 80452

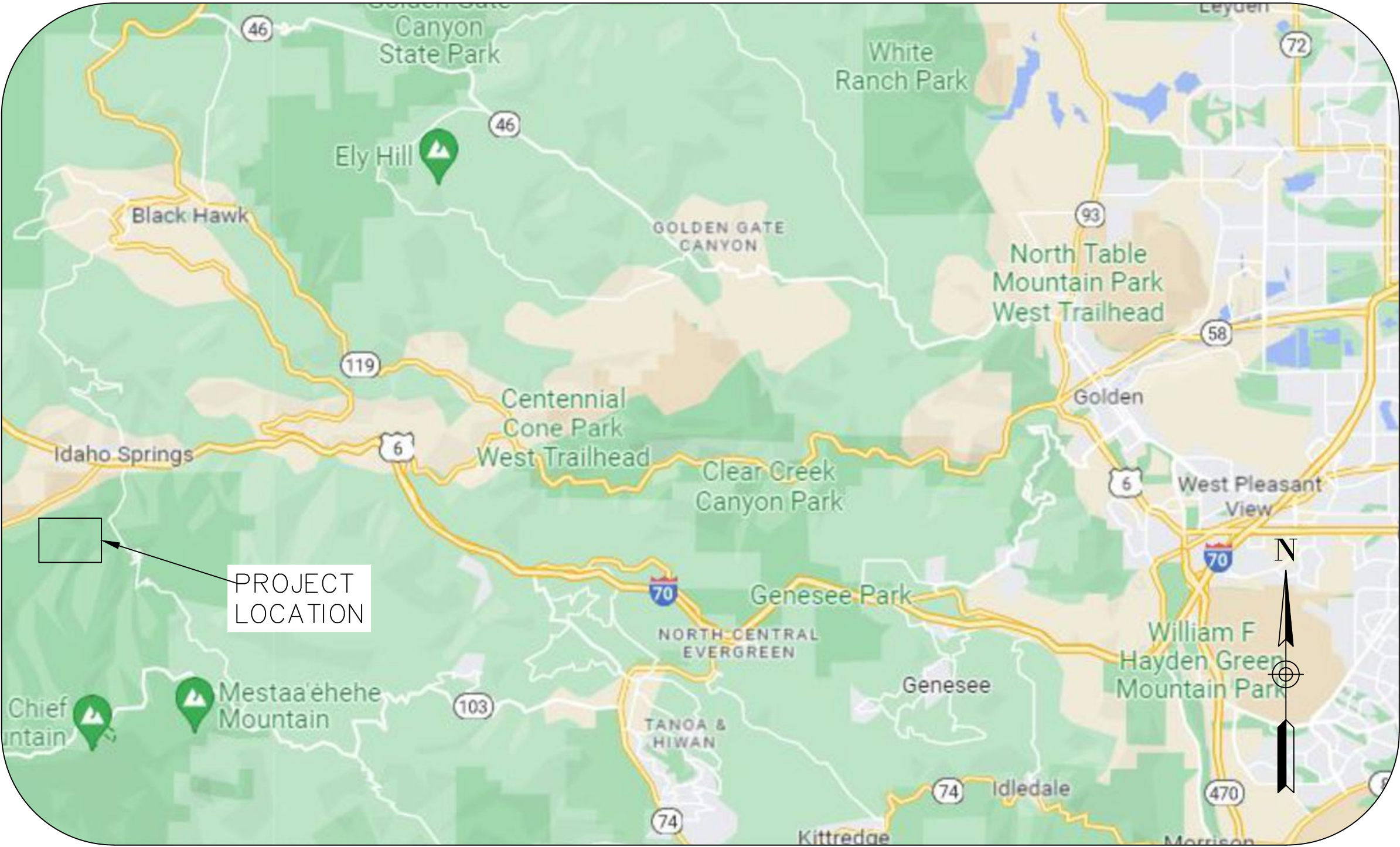
CONTACTS

BRANDON L. BARKEY (ENGINEER)
BRANDONLBARKEY@GMAIL.COM
(720) 793-7765

IDAHO SPRINGS (CITY)
1711 MINER STREET
IDAHO SPRINGS, CO 80452
(303) 567-4421

CLEAR CREEK (COUNTY)
405 ARGENTINE STREET
P.O. BOX 2000
GEORGETOWN, CO 80444
(303) 679-2300

CALL BEFORE YOU DIG: 811



VICINITY MAP
NOT TO SCALE (N.T.S.)



AREA MAP
NOT TO SCALE (N.T.S.)

PREPARED FOR:

PURCHASING AGENT

CREATED BY:



ANSOM OUTDOOR LLC

BRANDON L. BARKEY
8376 S UPHAM WAY A106
LITTLETON, CO 80128

SHEET LIST	
SHEET NUMBER	SHEET NAME
C-01	COVER
C-02	GENERAL NOTES
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C-04	EXISTING SITE
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C-08	UTILITY PLAN
C-09	TRAFFIC CONTROL PLAN

REVISIONS		
NO.	DATE	DETAILS
1	10/XX/2023	CITY REVIEW 1

DESIGNED: BB

DRAWN: BB

CHECKED: BB

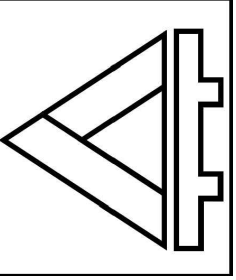
SEALS:

10/15/2023

ENGINEER:

ANSOM OUTDOOR LLC

333 VAN EDEN
IDAHO SPRINGS, CO 80524
ANSOMOUTDOORLLC@GMAIL.COM
(720) 506-9004



CLIENT/OWNER:

BIG PINES REAL ESTATE LLC

53 NORTH SHORE DR
LAKE OZARK, MO 65049
WARDVAN@GMAIL.COM
(913) 915-6407

PROJECT NAME:

VAN EDEN MOUNTAIN HOME

PROJECT PHASE:

PRELIMINARY DESIGN

SHEET NAME:

COVER

DRAWING SCALE:

N.T.S. 1"

Note: Sheet is printed full size at 22"x34". The guide scale above will print 1" length, otherwise scale accordingly.

DATE:

10/15/2023

SHEET NUMBER:

C-01 of 11

NOT FOR CONSTRUCTION

GENERAL NOTES:

DRAFT

1. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE CITY OF LAKE OZARK IMMEDIATELY PRIOR TO WORK IN A RIGHT OF WAY AND PRIOR TO ANY WORK ON EXISTING UTILITIES, AS WELL AS BEFORE CONNECTING TO CITY MAINS AND DURING CONSTRUCTION FOR INSPECTIONS.
2. NO UNDERGROUND UTILITIES WERE LOCATED FOR THIS ENTIRE PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES AND TO PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, OWNER AND CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE OWNER PRIOR TO BEGINNING CONSTRUCTION AFFECTED BY THE CHANGES. FOR UTILITY LOCATION INFORMATION, CONTACT THE FOLLOWING:
3. THE CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF EXISTING WATER VALVES, WATERLINES, SEWERLINES, FORCEMAINS, STRUCTURES, AND OUTFALLS PRIOR TO CONSTRUCTION. PRIOR MEETINGS WERE HELD BETWEEN THE CITY, THE ENGINEER, AND THE OWNER TO DETERMINE THE EXISTING UTILITIES AND STRUCTURES ON THE EXISTING SITE BUT NO ELEVATIONS OR PLANS WERE ACQUIRED. ANY SIGNIFICANT DETAILS NOT ON THE PLANS SHALL BE COORDINATED WITH THE ENGINEER AND THE OWNER.
4. ACTUAL HORIZONTAL LOCATIONS, DISTANCES, AND ELEVATIONS WILL BE GOVERNED BY EXISTING FIELD CONDITIONS UPON THE START OF CONSTRUCTION. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
5. THE CONTRACTOR SHALL BE REQUIRED TO RESTORE THE ROUTE OF WORK AND ANY EXISTING LANDSCAPE BACK TO ITS ORIGINAL QUALITY OR BETTER. ANY DAMAGED LANDSCAPE, STRUCTURES, OR IMPROVEMENTS AS THE RESULT OF THE CONTRACTOR MUST BE REPORTED AND RESTORED TO ORIGINAL CONDITION OR BETTER. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING SITE TO PRE-CONSTRUCTION CONDITION WHERE IMPROVEMENTS ARE NOT REQUIRED.
6. NO UTILITY SERVICE MAY BE DISCONNECTED WITHOUT PRIOR APPROVAL OF THE OWNER OR OWNER’S REPRESENTATIVE ON RECORD.
7. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY PORTABLE RESTROOM FACILITIES FOR THE DURATION OF THE CONSTRUCTION PROJECT.
8. THE CONTRACTOR SHALL EXHIBIT AND STRICTLY SUPERVISE/ENFORCE NECESSARY SAFETY PRECAUTIONS DURING CONSTRUCTION FOR THE SAFETY OF ALL WORKERS AND PERSONNEL ON-SITE, INCLUDING BUT NOT LIMITED TO, PROPER SIGNAGE, SECURITY, AND EXCAVATION PRACTICES AS SET FORTH BY OSHA, PUBLICATION 2226, "EXCAVATION AND TRENCHING OPERATIONS". ANY AND ALL ADDITIONAL SAFETY PRACTICES FOR THE REQUIRED CONSTRUCTION HEREIN IS TO BE FOLLOWED PER THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF ALL PERMITS NECESSARY FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN, INCLUDING BUT NOT LIMITED TO, LAND DEVELOPMENT PERMIT, FLOODPLAIN DEVELOPMENT PERMIT, ENVIRONMENTAL IMPACT PERMIT FROM THE STATE OF MISSOURI, AND/OR DRIVEWAY PERMITS FOR TRAFFIC CONTROL.
10. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS, UNINTERRUPTED SEWER SERVICE TO EACH RESIDENCE DURING IMPROVEMENTS TO SEWER LINES.
11. THE CONTRACTOR SHALL MAINTAIN ON SITE A FULL SET OF CONSTRUCTION DRAWINGS PRINTED AT LEAST TO FULL SIZE OF 22”X34” ON QUALITY PAPER, RECORDING ALL INFORMATION PERTAINING TO THE CONSTRUCTION OF THIS ENTIRE PLAN SET. THESE RECORD DRAWINGS SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.
12. A FULL CLEAN SET OF RECORD DRAWINGS WITH ALL DOCUMENTED CHANGES AND LOCATIONS SHALL BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT.
13. HORIZONTAL AND VERTICAL DEFLECTION OF THE INSTALLED PIPES FOR WATERLINES AND SEWERLINES SHALL NOT EXCEED MANUFACTURER’S RECOMMENDATIONS FOR THE PIPE MATERIAL AND TEST PRESSURE SPECIFIED.
14. THE CONTRACTOR SHALL NOT SCALE FROM DRAWINGS FOR COONSTRUCTION PURPOSES. ANY MISSING DIMENSIONS OR DISCREPANCIES IN PLANS, FIELD STAKING, FIELD CONDITIONS, OR PHYSICAL FEATURES SHALL BE COORDINATED WITH THE OWNER AND ENGINEER. IF CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING THE OWNER AND ENGINEER, THE ASSOCIATED CONSEQUENCES ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR, AND ANY CHANGES SHALL BE RECORD ON THE ON SITE PLAN SET.
15. THE CONTRACTOR IS TO REFER TO THE 'PROJECT SPECIFICATIONS' ON THIS SHEET FOR DETAILS ON THE PROJECT DATUM.
16. THE CONTRACTOR IS TO SUBMIT A WRITTEN REQUEST FOR INFORMATION

- (RFI) TO THE ENGINEER IF ANY OTHER QUESTIONS, CONFLICTS, OR DISCREPANCIES ARISE.
17. THE CONTRACTOR IS TO FOLLOW ANY STATE, COUNTY, OR CITY CODE REQUIREMENTS DURING CONSTRUCTION PER THE DATE OF ACTUAL CONSTRUCTION. CONFLICTS WITH THIS PLAN SET AND CODES PER THE DATE OF CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER AND ENGINEER.

PROJECT SPECIFICATIONS:

1. THE CONTRACTOR IS TO LOCATE AND FIELD VERIFY ALL EXISTING FIRE HYDRANTS, WATER VALVES, CULVERTS, AND MANHOLES ON THE SITE PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL REMOVE ONLY THE NECESSARY TREES APPROXIMATELY SHOWN BY THE PROPOSED TREELINE ON SHEET C-07 TO MAKE ROOM FOR NECESSARY GRADING OF THE EXISTING GROUND. SILT FENCE SHALL BE PLACED JUST DOWNGRADE FROM THE BUILDINGS AND YARDS, AND JUST UPGRADE FROM THE REMAINING TREELINE. DRAINAGE DITCHES WITH APPROPRIATE RIPRAP WILL BE PLACED JUST UPGRADE FROM THE SILT FENCE TO DIRECT RUNOFF. THE RUNOFF WILL DRAIN WEST INTO THE LAKE. THE CONSTRUCTION SITE IS NOT LOCATED IN A FLOODPLAIN.
3. EXISTING SURVEY WAS PROVIDED BY 'SHORELINE SURVEYING AND ENGINEERING, LLC' PER THE DELIVERED SURVEY ON NOVEMBER 09, 2022. THE SURVEY WAS CONDUCTED FOR 'WHEELER AUCTIONS & REAL ESTATE' PER THE EXISTING CONDITIONS ON SITE ON THE DATE LISTED AS SEPTEMBER 2022. CONTACT THE OWNER OR ENGINEER FOR ANY CONCERNS WITH THE PROVIDED SURVEY DATA. FINAL SURVEY PLANS WERE STAMPED ON NOVEMBER 29, 2022 BY THE SURVEYOR ROBERT ARNOLD, PLS, MO# PLS 2191.
4. ALL ZONING FOR THE SITE IS TO BE "R-3" MULTI-FAMILY DWELLING DISTRICT PER CITY CODE. THE CURRENT ZONING SHOWN ON SHEET C-03 SHOWS THE PARCELS ZONED AS R-1 AND C-1. PER CITY CODE THIS IS ACCEPTABLE FOR THE LAND USE DEVELOPMENT.
5. ONE SEWER LIFT STATION WILL BE INSTALLED ON THE SOUTHWEST END OF THE SITE TO COLLECT ALL SEWER FROM THE DEVELOPMENT AND PUMP IT TO A PROPOSED CONNECTION TO THE EXISTING CITY SEWER FORCEMAIN. THE LIFT STATION SHALL BE TURNED OVER TO THE CITY FOR OPERATION AND MAINTENANCE UPON COMPLETION OF THE PROJECT.
6. ALL CONTENTS WITHIN THIS PLAN SET ARE TO MEET CITY CODE AS LISTED IN 'CITY OF LAKE OZARK, MO STATE CODE, TITLE IV LAND USE'. PERMITS REQUIRED FOR CONSTRUCTION WITHIN THIS CODE ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL CONTENTS WITHIN THIS PLAN SET ARE TO BE REVIEWED PER CITY CODE AS LISTED IN 'CITY OF LAKE OZARK, MO STATE CODE, TITLE IV LAND USE, CHAPTER 405 ZONING REGULATIONS, ARTICLE X SITE PLAN REVIEW'.
8. ALL VIEWPORTS FOR THE DESIGN SHEETS BETWEEN SHEET C-04 THROUGH C-09 ARE SHOWN AT SCALE 1" = 40' INSTEAD OF THE LISTED 1" = 20' WITHIN CITY CODE. THIS IS DUE TO THE SIZE OF THE PROJECT SITE AND THE ABILITY TO SHOW APPROPRIATE DETAIL.

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PROJECT LINKS AND RESOURCES:
(AS OF DATE PRINTED)

DRAFT

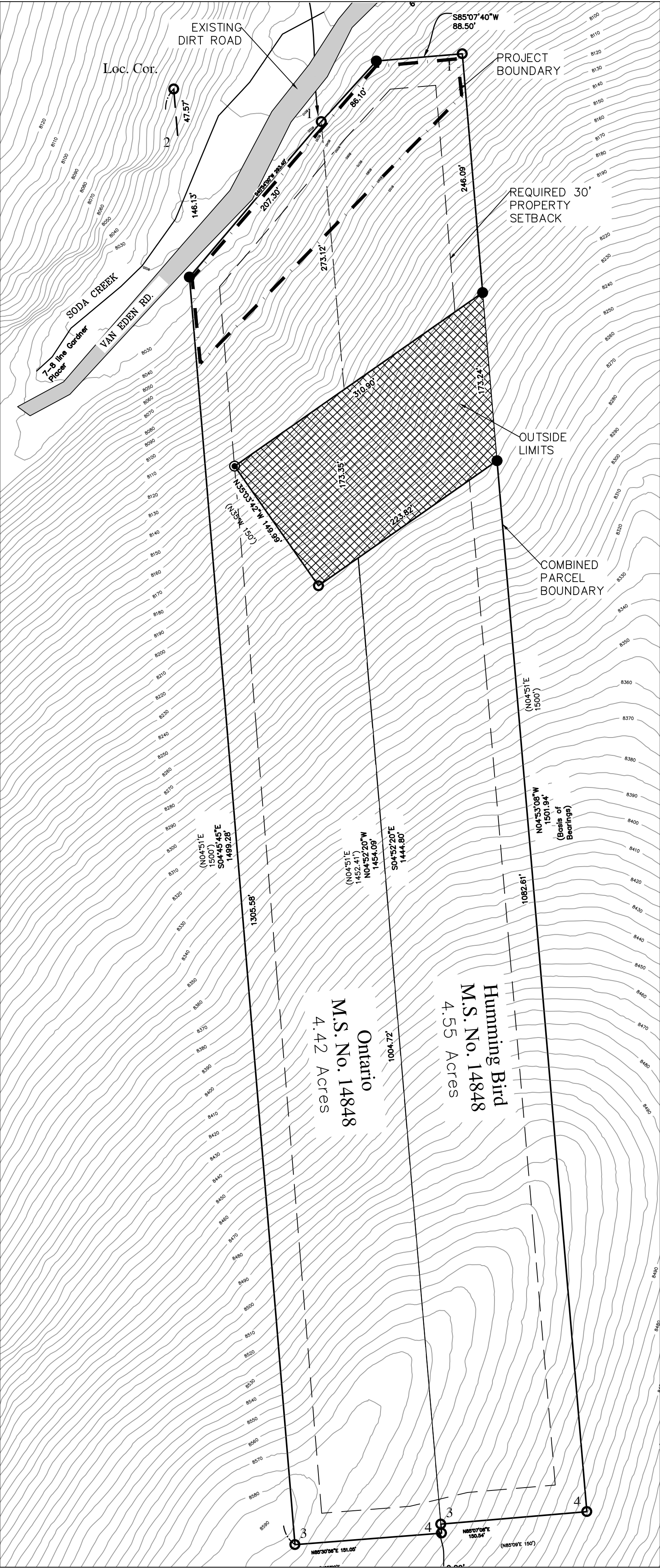
1. CITY OF LAKE OZARK WEBSITE – <https://cityoflakeozark.net/>
2. CITY ZONING MAP – <https://cityoflakeozark.net/how-do-i/>, 'City Zoning Map (2021)'
3. CITY OF LAKE OZARK LAND USE CODE, CHAPTER 405 "ZONING REGULATIONS" – <https://ecode360.com/28169789>
4. MILLER COUNTY GIS PARCEL DATA – <https://millergis.integritygis.com/H5/Index.html?viewer=miller>

UTILITY PROVIDERS:

WATER – CITY OF LAKE OZARK, (573) 365-5378
SEWER – CITY OF LAKE OZARK, (573) 365-5378
SOLID WASTE – GFL, (800) 358-7274
ELECTRIC – AMEREN MISSOURI, (314) 554-2375
NATURAL GAS – SUMMIT NATURAL GAS, (573) 317-7112
TELEPHONE – AT&T, (844) 433-0113
SPECTRUM, (855) 892-2072
CABLE – SPECTRUM, (855)243-8892

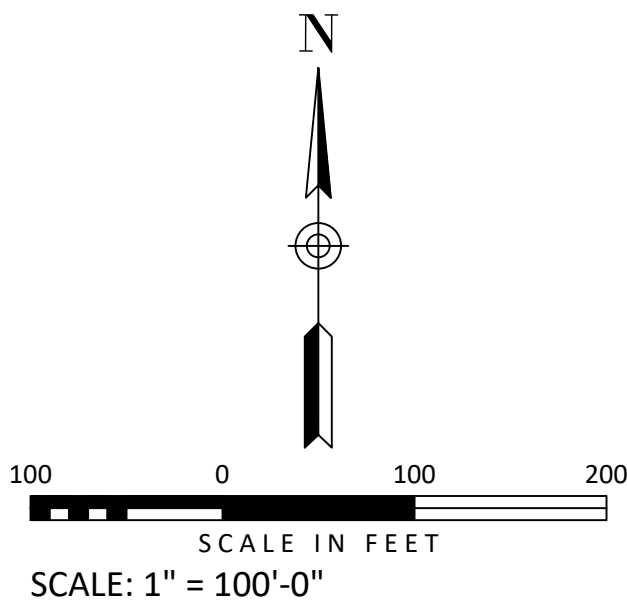
DESIGNED: BB	DRAWN: BB	CHECKED: BB
SEALS: 10/15/2023		
ENGINEER: ANSOM OUTDOOR LLC 333 VAN EDEN IDAHO SPRINGS, CO 80524 ANSOMOUTDOORLLC@GMAIL.COM (720) 506-9004		
CLIENT/OWNER: BIG PINES REAL ESTATE LLC 53 NORTH SHORE DR LAKE OZARK, MO 65049 WARDVAN@GMAIL.COM (913) 915-6407		
PROJECT NAME: VAN EDEN MOUNTAIN HOME	PROJECT PHASE: PRELIMINARY DESIGN	SHEET NAME: GENERAL NOTES
DRAWING SCALE: N.T.S. 1" Note: Sheet is printed full size at 22"x34". The guide scale above will print 1" length, otherwise scale accordingly.		
DATE: 10/15/2023		
SHEET NUMBER: C-02 of 11		

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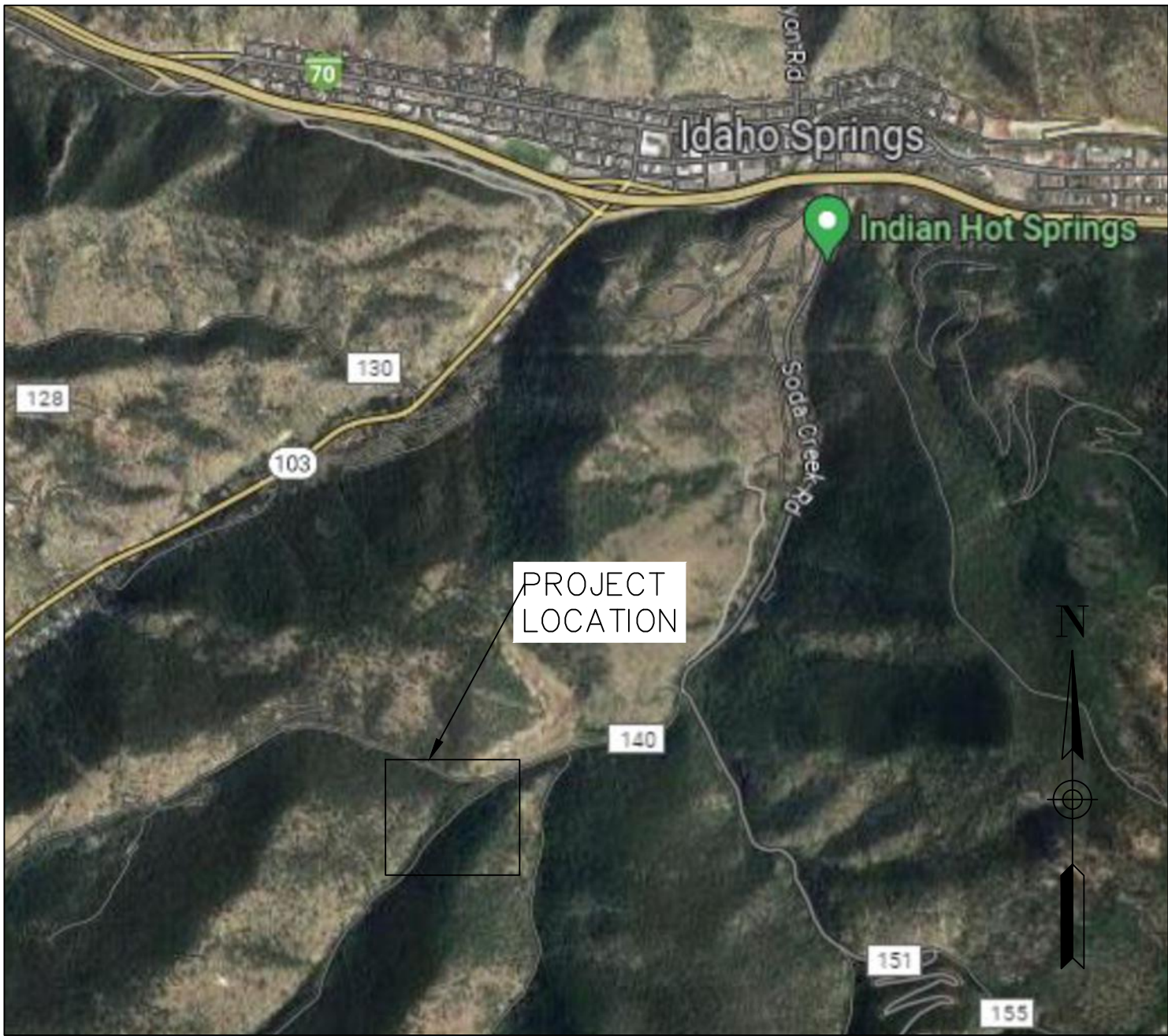


PROPERTY MAP

SCALE: 1" = 80'



- LEGEND:
- PROJECT BOUNDARY
 - SITE BOUNDARY
 - PARCEL LOT
 - EXISTING EDGE OF ROAD



AREA MAP

NOT TO SCALE (N.T.S.)

GENERAL NOTES:

DRAFT

- ALL PARCEL DATA WAS COLLECTED FROM THE MILLER COUNTY GIS PARCEL DATA WEBSITE AT – <https://map.co.clear-creek.co.us/HTML5Viewer/?viewer=municipalities&extent=2992939.17,1691225.5,3005739.17,1701892.17>
- LOCATION OF PARCEL LINES AND LISTED AREAS ARE APPROXIMATE.
- BUILDING FOOTPRINTS ARE ONLY SHOWN FOR THOSE THAT WOULD BE AFFECTED BY THE CONSTRUCTION. THERE ARE NO EXISTING BUILDINGS ON SITE.
- CITY CODE REQUIRES A 20' PROPERTY SETBACK FROM THE EDGE OF THE PARCEL PROPERTY BOUNDARY. THIS IS SHOWN 20' AWAY FROM THE TOTAL COMBINED PARCEL BOUNDARY ALL OWNED BY BIG PINES REAL ESTATE LLC THROUGH THE PROJECT OWNER.
- EXISTING UTILITIES DO NOT EXISTS DIRECTLY ON THE PROPERTY, BUT THE POTENTIAL TO HOOK UP TO EXISTING UTILITIES IS FEASIBLE FOR THIS SITE.
- EXISTING OVERHEAD ELECTRICAL POWER EXISTS IN THE ADJACENT CANYON, AS WELL AS FURTHER SOUTHWEST UP INTO VAN EDEN DRIVE. THE NEXT HOUSE UP APPROXIMATELY 300 YARDS AWAY HAS SOLAR ELECTRICITY, AND THE HOME ONE MILE UP THE CANYON JUST PAID TO INSTALL OVERHEAD ELECTRICAL LINES.
- THE PERRENIAL CREEK JUST NORTH OF THE PROPERTY CALLED 'SODA CREEK' IS LOCATED 200 YARDS AWAY FROM THE SITE PROPERTY BOUNDARY WITH AN ELEVATION DROP OF LESS THAN 10 FEET. THIS INDICATES THAT A WELL DRILLED ON THE PROPERTY WITH THE PROPER SETBACK OF 20-30 FEET SHOULD ONLY AHVE TO BE APPROXIMATELY 10-30 FEET DEEP SAVING COSTS.
- BOTH LOTS CALLED 'ONTARIO' AND 'HUMMINGBIRD' ARE ENTIRELY ZONED AS M2, WHICH IS AN OLD MINING LOT THAT IS ZONED FOR POSSIBLE RESIDENTIAL BUILDS. HAVING DONE BASIC LANDSCAPE CONSTRUCTION PERSONALLY ON THE LAND, THE ENGINEER CAN CONFIRM THAT SOLID FOUNDATIONAL MATERIALS ARE PRESENTS WITH PLENTY OF LARGE ROCKS/BOULDERS FOR SUPPORT AND DECORATION, OR EVEN STONE WALLS. DUE TO THE SLOPE OF THE LAND, CONSTRUCTION IS POSSIBLE BUT WILL NEED TO BE SUPPLEMENTED WITH CAREFUL RETAINING WALL DESIGNS, SEE DETAIL D-10 FOR PROPER SIZING AND FOOTING LENGTHS. HOWEVER, THE ROCK WALLS AND PLENTIFUL TREE AND FOLIAGE GROWTH SHOULD PROVIDE STABILITY TO THE SOILS. PROPER ANALYSIS WILL BE REQUIRED OF THE CONTRACTOR FOR EACH CASE.
-

DESIGNED: BB	DRAWN: BB	CHECKED: BB
SEALS:		
ENGINEER:		
CLIENT/OWNER:		
PROJECT NAME: VAN EDEN MOUNTAIN HOME		
PROJECT PHASE: PRELIMINARY DESIGN		
SHEET NAME: PROPERTY MAP		
DRAWING SCALE: 1" = 80'		
DATE: 10/15/2023		
SHEET NUMBER: C-03 of 11		

ANSOM OUTDOOR LLC

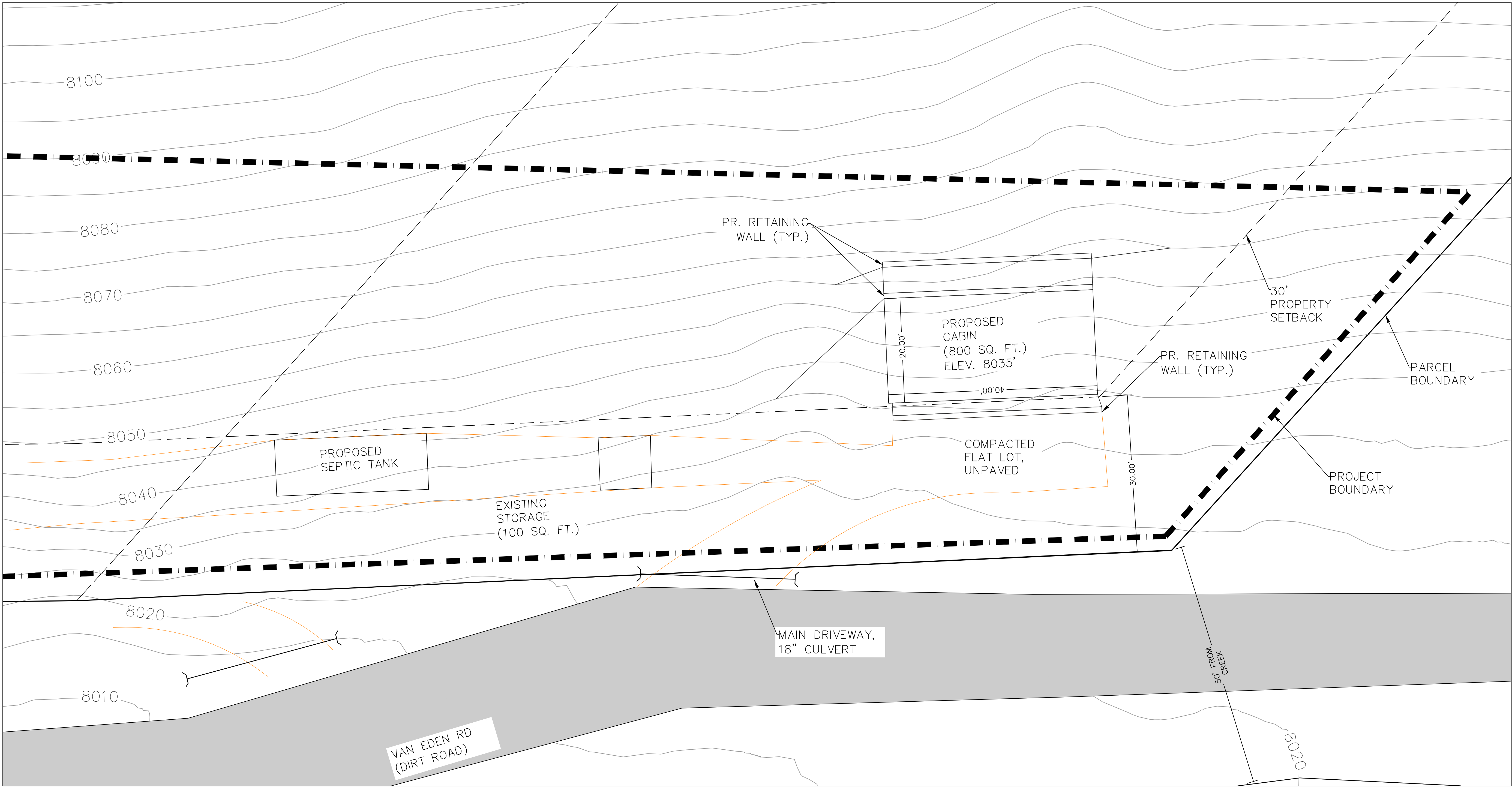
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EXISTING SITE PLAN #1

SCALE: 1" = 10'

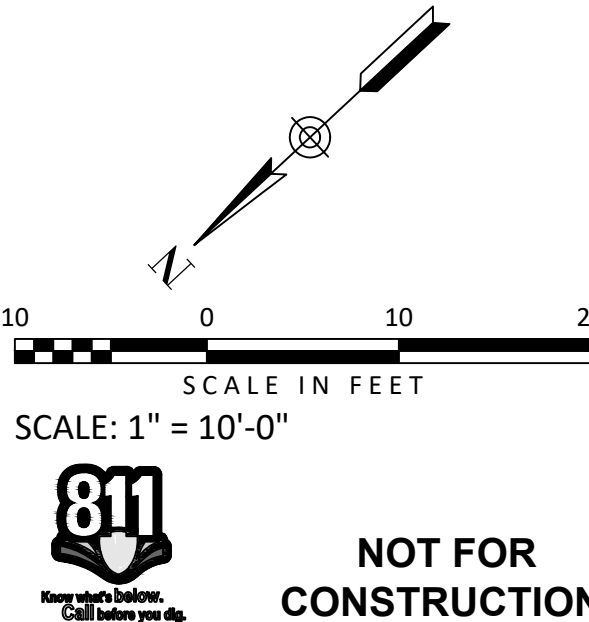
GENERAL NOTES:

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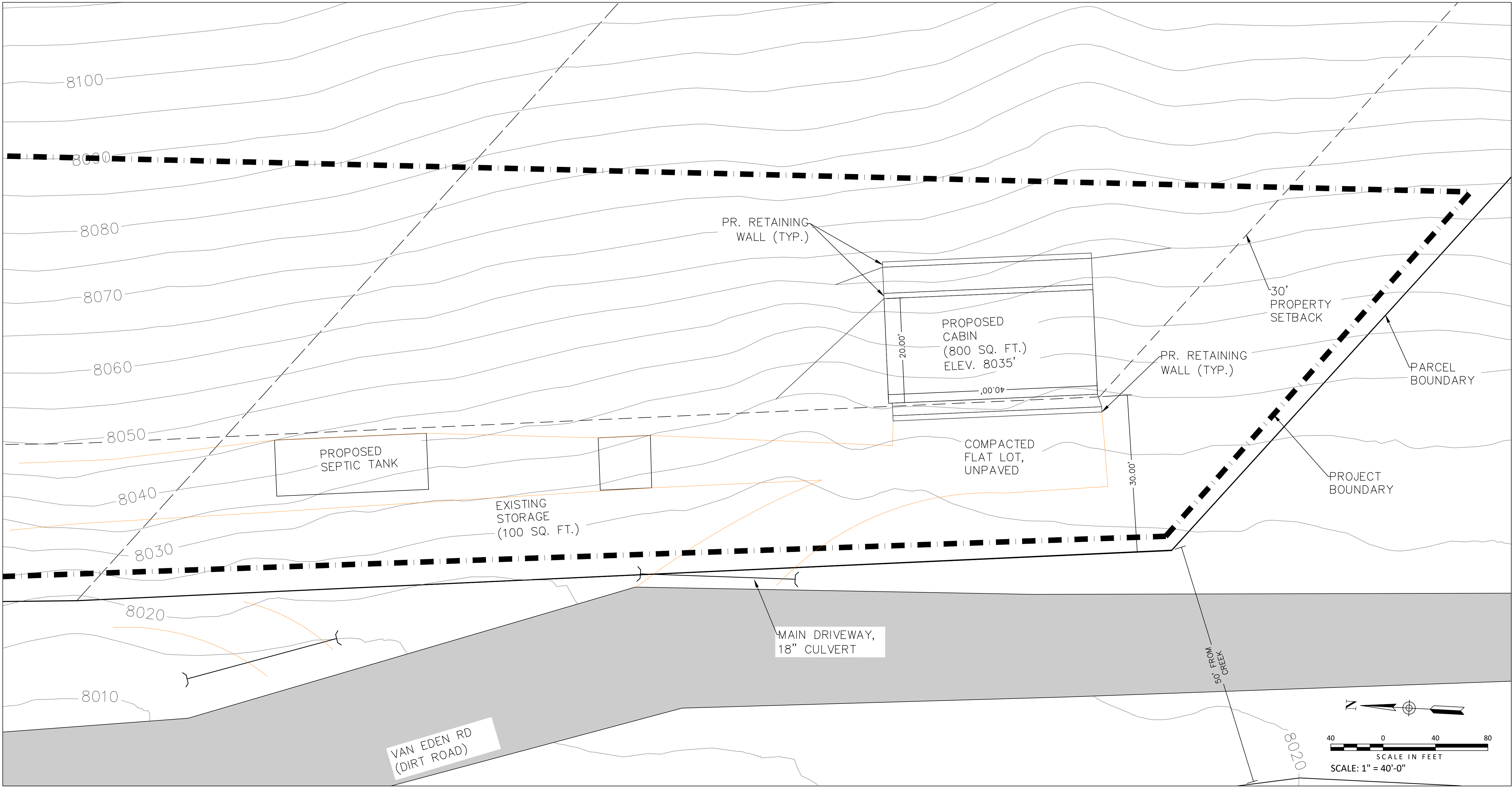
1. TREES SHOWN IN THE AERIAL IMAGE OUTSIDE THE EXISTING TREELINE AND WITHIN THE COMBINED PARCEL BOUNDARY HAVE SINCE BEEN REMOVED AND DISPOSED BY THE OWNER.
2. EXISTING SURVEY WAS PROVIDED BY 'SHORELINE SURVEYING AND ENGINEERING, LLC' PER THE DELIVERED SURVEY ON NOVEMBER 09, 2022. THE SURVEY WAS CONDUCTED FOR 'WHEELER AUCTIONS & REAL ESTATE' PER THE EXISTING CONDITIONS ON SITE ON THE DATE LISTED AS SEPTEMBER 2022. CONTACT THE OWNER OR ENGINEER FOR ANY CONCERNS WITH THE PROVIDED SURVEY DATA. FINAL SURVEY PLANS WERE STAMPED ON NOVEMBER 29, 2022 BY THE SURVEYOR ROBERT ARNOLD, PLS, MO# PLS 2191.
3. EXISTING EDGE OF ROAD, EXISTING OVERHEAD ELECTRIC, AND THE EXISTING GRADE CONTOURS WERE LOCATED BY THE SURVEYOR.
4. CITY CODE REQUIRES A 20' PROPERTY SETBACK FROM THE EDGE OF THE PARCEL PROPERTY BOUNDARY. THIS IS SHOWN 20' AWAY FROM THE TOTAL COMBINED PARCEL BOUNDARY ALL OWNED BY BIG PINES REAL ESTATE LLC THROUGH THE PROJECT OWNER.

LEGEND:

- PROJECT BOUNDARY
- SITE BOUNDARY
- OHE --- OVERHEAD ELECTRIC
- TREELINE



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CLIENT/OWNER:	BIG PINES REAL ESTATE LLC 53 NORTH SHORE DR LAKE OZARK, MO 65049 WARDVAN@GMAIL.COM (913) 915-6407	
PROJECT NAME:	VAN EDEN MOUNTAIN HOME	
PROJECT PHASE:	PRELIMINARY DESIGN	
SHEET NAME:	EXISTING SITE PLAN	
DRAWING SCALE:	1" = 40'	
DATE:	10/15/2023	
SHEET NUMBER:	C-04 of 11	



PROPOSED SITE PLAN #1

SCALE: 1" = 40'

GENERAL NOTES:

DRAFT

1. THERE SHALL BE 2 PARKING STALLS PROVIDED PER UNIT.
2. PER CITY CODE, 3-PERCENT OF ALL PARKING AND UNITS MUST BE ADA (HANDICAP) COMPLIANT WITH PROPER MARKING AND SIGNAGE.
3. PER CITY CODE, THE REQUIRED AMOUNT OF BUFFER AREA PER UNIT SHALL BE 2,500 SF PER UNIT WHICH IS CALCULATED TO 20,000 SF OR 0.46 AC PER 8-UNIT BUILDING OVER THE ENTIRE SITE LOT. THIS INCLUDES THE PARKING SPOTS AND YARD SETBACKS DESIGNATED AND ADJACENT TO EACH BUILDING, IN ADDITION TO OPEN SPACE ON THE WEST SIDE OF THE OVERALL LOT. SEE THE 'LAND DEVELOPMENT' TABLE FOR APPROVED CALCULATION.
4. PER CITY CODE, EACH INDIVIDUAL UNIT MUST BE AT LEAST 865 SF OF LIVABLE SPACE INCLUDING ENTRANCES AND ATTACHED PORCHES. THE ACTUAL SIZE OF THE SMALLEST UNIT FOR EACH BUILDING IS 885 SF WHICH FULFILLS THIS REQUIREMENT.
5. ALL RADIUS FOR PAVEMENT TO BE 20' RADIUS.
6. ALL STAIRCASES SHOWN ATTACHED TO BUILDINGS ARE 9'X9' AND INDICATE 4 TOTAL ENTRANCES EACH, WITH 2 ENTRANCES ON FIRST

- FLOOR AND 2 ENTRANCES ON SECOND FLOOR. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
7. ALL UPPER DECKS SHOWN ATTACHED TO BUILDINGS ON THE BACK YARD SIDE ARE 6'X4' AND INDICATE 1 ENTRANCE EACH TO A UNIT.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER EXTERIOR LIGHTING OVER THE ENTIRETY OF THE DEVELOPED LOT PER CITY CODE. LED LIGHT SOURCING IS RECOMMENDED FOR ENERGY CONSERVATION, AS WELL AS PROPER PLACEMENT OF LIGHT POLES FOR SAFETY OF PEDESTRIANS AND DRIVERS AT NIGHT. IT IS REQUIRED THAT LIGHTS BE PLACED AS TO NOT PRODUCE A GLARE TO ADJACENT LOTS.
 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SIGNAGE DURING AND AFTER CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SIGNAGE FOR EXISTING AND PROPOSED UTILITIES, TRAFFIC CONTROL, ADA HANDICAP, AND CROSSWALKS.
 10. PROVIDED LOADING/UNLOADING SPACES SHALL BE USED ONLY FOR THOSE MOVING INTO THE PROPERTY OR TEMPORARILY USING THE SPACE TO LOAD OR UNLOAD THEIR VEHICLES. LONG-TERM OR OVERNIGHT PARKING IS NEVER PERMITTED IN THESE SPACES.
 11. PER CITY CODE, THERE IS TO BE A MINIMUM OF 10' BETWEEN ALL PROPOSED BUILDINGS.
 12. ALL SIDEWALKS SHALL BE 5' WIDE AND ADA COMPLIANT TO ENTRANCES.

LAND DEVELOPMENT	
DETAIL	VALUE
TOTAL EXISTING LOT AREA	16.7 AC
DEVELOPED LAND AREA	6.7 AC
REMAINING OPEN SPACE AREA	10.0 AC
BUFFER AREA PER BUILDING	0.46 AC
# OF BUILDINGS	16
TOTAL BUFFER AREA REQUIRED	7.36 AC
REQUIREMENT MET?	YES

LEGEND:

- PROJECT BOUNDARY
- SITE BOUNDARY
- OVERHEAD ELECTRIC
- EASEMENT LINES
- TREELINE
- UPPER GRADE LOT
- LOWER GRADE LOT

DESIGNED: BB

DRAWN: BB

CHECKED: BB

SEALS:

10/15/2023

ENGINEER:

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CLIENT/OWNER:

BIG PINES REAL ESTATE LLC53 NORTH SHORE DR LAKE OZARK, MO 65049WARDVAN@GMAIL.COM(913) 915-6407

PROJECT NAME: VAN EDEN MOUNTAIN HOME

PROJECT PHASE: PRELIMINARY DESIGN

SHEET NAME: PROPOSED SITE PLAN

DRAWING SCALE:

1" = 40'

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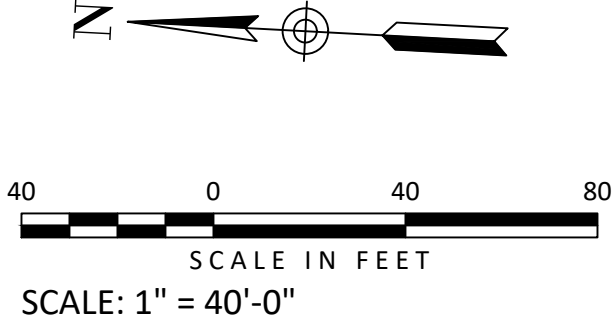
NOT FOR CONSTRUCTION

GRADING PLAN

SCALE: 1" = 40'

GENERAL NOTES:

- PROPOSED GRADE SURFACE SLOPES GENERALLY SOUTH AND WEST SIMILAR TO EXISTING GRADE, BUT AT A SLOPE OF APPROXIMATELY 2-PERCENT ACROSS THE ENTIRE SITE.
- CONTRACTOR TO FIELD VERIFY ACTUAL FINISHED FLOOR ELEVATION (FFE) AS SHOWN FOR EACH BUILDING.
- CONTRACTOR TO ADJUST THE TOP ELEVATION (TE) FOR EACH BUILDING TO REFLECT A TOTAL BUILDING HEIGHT OF 25'-10" AS SHOWN ON THE ASSOCIATED ARCHITECTURAL DRAWINGS FOR THE PROJECT.
- REFER TO DETAIL SHEET C-10 FOR RETAINING WALL DIMENSIONS.



LEGEND:

- PROJECT BOUNDARY
- SITE BOUNDARY
- OHE — OVERHEAD ELECTRIC
- ~ TREELINE
- RETAINING WALL

NOT FOR
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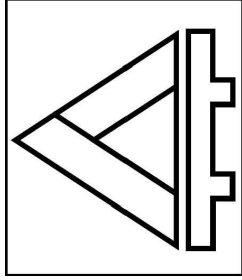
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SHEET NUMBER:

C-06 of 11

ENGINEER:



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LLC**

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SEALS:

DESIGNED:
BB

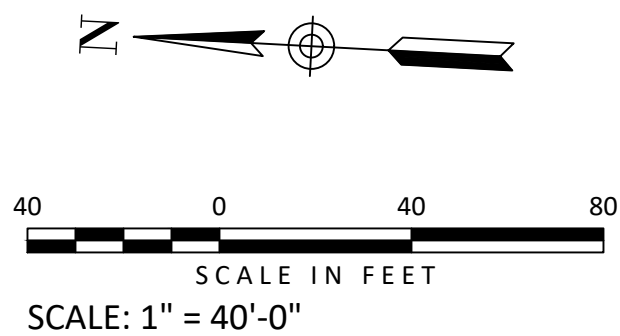
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10/15/2023

HIGHWAY W

BOB WHITE LAKE



DRAINAGE PLAN

SCALE: 1" = 40'

GENERAL NOTES:

- ALL STORMWATER RUNOFF IS TO BE COLLECTED AND TRANSPORTED VIA THE SHOWN SILT FENCE. THE DEVELOPED SITE WILL HAVE A FLATTER GRADE THAN EXISTING CONDITIONS, WHICH WILL SLOW THE RATE OF FLOW. ONCE WATER DRAINS SOUTHWEST OVER THE RETAINING WALLS, THE SILT FENCE IS LOCATED DIRECTLY NEARBY TO CAPTURE AND TRANSPORT THE MAJORITY OF FLOW AND SEDIMENT DOWN GRADE AND AWAY FROM THE STRUCTURES. THE WATER WILL ULTIMATELY DRAIN TO THE LAKE.
- CONTRACTOR TO CONSTRUCT 1–FT DEEP AND 3–FT WIDE DRAINAGE DITCH DIRECTLY ADJACENT TO THE SILT FENCE LINE UPSLOPE OF THE STAKES TO PROVIDE DIRECTION OF RUNOFF FLOW. THE DITCH SHOULD BE FILLED WITH RIP RAP TO PREVENT EROSION AND INCREASED RUNOFF.
- PROPOSED CULVERTS (2) SHALL INCLUDE BASIC HEADWALLS AND ENDWALLS CONSISTING OF RIPRAP AND POSSIBLY NETTING TO PREVENT EROSION.
- THE EXISTING SITE IS NOT LOCATED WITHIN THE 100–YEAR FLOODPLAIN. THE FEMA FLOODPLAIN IS APPROXIMATELY AT THE BOUNDARY OF THE LAKE TO THE WEST. THE ADDITIONAL RUNOFF FROM THE DEVELOPED SITE SHALL PROVIDE NEGLIGIBLE INCREASED FLOW TO THE LAKE DOWNSTREAM. NO ADDITIONAL FLOODPLAIN ALTERATIONS ARE REQUIRED.

- CONTRACTOR TO VERIFY WITH CITY IF ADDITIONAL STORMWATER RUNOFF AND FLOODPLAIN ANALYSIS IS REQUIRED.
- ARROWS SHOWN ON THE DRAINAGE PLAN REPRESENT GENERAL FLOW OF RUNOFF WITH PROPOSED GRADE AND ONTO EXISTING GRADE, FOLLOWING THE SILT FENCE AND DRAINAGE DITCHES UNTIL DISCHARGED OFF SITE AT THE OUTLET TO THE SOUTHWEST.

LEGEND:

- PROJECT BOUNDARY
- SITE BOUNDARY
- OVERHEAD ELECTRIC
- TREELINE
- DIRECTION OF RUNOFF
- SILT FENCE W/ DRAINAGE DITCH

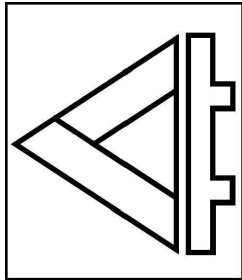
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DESIGNED:	BB
DRAWN:	BB
CHECKED:	BB

SEALS:

10/15/2023

ENGINEER:



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PROJECT NAME:

VAN EDEN MOUNTAIN HOME

PROJECT PHASE:

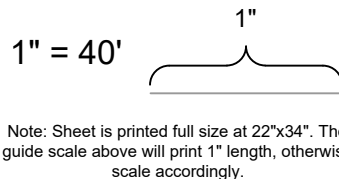
PRELIMINARY DESIGN

SHEET NAME:

DRAINAGE PLAN

DRAWING SCALE:

1" = 40'



Note: Sheet is printed full size at 22"x34". The guide scale above will print 1" length, otherwise scale accordingly.

DATE:

10/15/2023

SHEET NUMBER:

C-07 of 11

UTILITY PLAN

SCALE: 1" = 40'

GENERAL NOTES:

1. EXISTING FORCEMAIN TO BE LOCATED BEFORE DIGGING AND CONNECTION TO PROPOSED SEWERLINE FROM THE PROPOSED LIFT STATION.

2. ALL PROPOSED WATERLINE SHALL BE HDPE OR PVC DETERMINED BY THE OWNER AND CONTRACTOR. WATERLINE SHALL BE AT LEAST 6” FOR ALL STANDARD CONNECTING LINES. CONTRACTOR TO CONTACT CITY BEFORE TAPPING INTO EXISTING WATERLINES. ALL PROPOSED WATERLINE SHALL BE INSTALLED WITH PROPER BASE MATERIALS AND BURIED AT PROPER DEPTH PER CITY CODE AND ASTM STANDARDS.

3. PROPOSED SEWERLINES THAT ARE NOT THE ONE PROPOSED FORCEMAIN ARE TO BE PLACED AT MINIMUM SLOPE OR GREATER TO MAINTAIN GRAVITY COLLECTION. SEWERLINES SHALL BE BURIED AT PROPER DEPTH.

4. NO GAS LINES WILL BE INCLUDED IN THE PROPOSED PLAN. ALL ENERGY PROVIDED TO THE UNITS WILL BE ELECTRIC. THERE ARE NO EXISTING GAS LINES ON SITE.

5. CABLE AND TELEPHONE LINES SHALL FOLLOW THE CONDUITS SHOWN FOR PROPOSED ELECTRIC LINES.
6. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS, UNINTERRUPTED SEWER SERVICE TO EACH RESIDENCE DURING IMPROVEMENTS TO SEWER LINES.

7. ONE SEWER LIFT STATION WILL BE INSTALLED ON THE SOUTHWEST END OF THE SITE TO COLLECT ALL SEWER FROM THE DEVELOPMENT AND PUMP IT TO A PROPOSED CONNECTION TO THE EXISTING CITY SEWER FORCEMAIN. THE LIFT STATION SHALL BE TURNED OVER TO THE CITY FOR OPERATION AND MAINTENANCE UPON COMPLETION OF THE PROJECT.

8. CONTRACTOR TO FIELD VERIFY WHERE TO BEST FIT ALL PROPOSED UTILITIES SO THAT ALL RIGHT OF WAY AND EASEMENT DISTANCES ARE MET PER EACH SPECIFIC UTILITY. LOCATIONS SHOULD BE SIMILAR TO DESIGN SHOWN AND CHANGES ARE TO BE RECORDED ON THE PLAN SET ON SITE FOR RECORD DRAWINGS.

PROPOSED UTILITY FIXTURES	
FIXTURE	QUANTITY
FIRE HYDRANTS	5
ELECTRIC TRANSFORMERS, 150 AMPS PER UNIT	5
SEWER MANHOLES	3
WATER METERS	16

LEGEND:

- PROJECT BOUNDARY
- SITE BOUNDARY
- OHE

OVERHEAD ELECTRIC
- TREELINE
- PROPOSED FIRE HYDRANT
- W

PROPOSED WATERLINE
- S

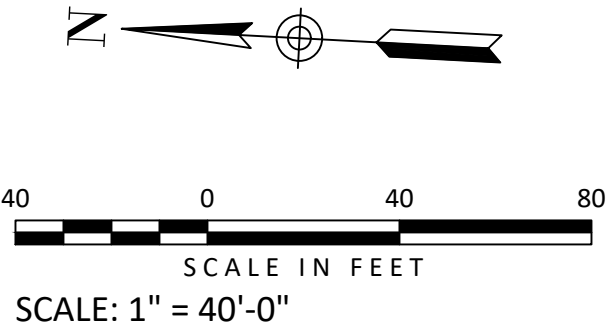
PROPOSED SEWERLINE
- P

PROPOSED ELECTRIC LINE
- PROPOSED ELECTRIC TRANSFORMER

NOT FOR CONSTRUCTION

HIGHWAY W

BOB WHITE LANE



PROJECT NAME: VAN EDEN MOUNTAIN HOME	PROJECT PHASE: PRELIMINARY DESIGN	SHEET NAME: UTILITY PLAN
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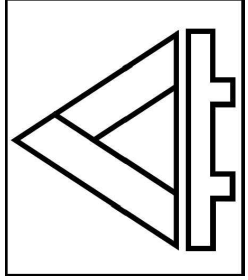
DATE: 10/15/2023

SHEET NUMBER: C-05 of 11

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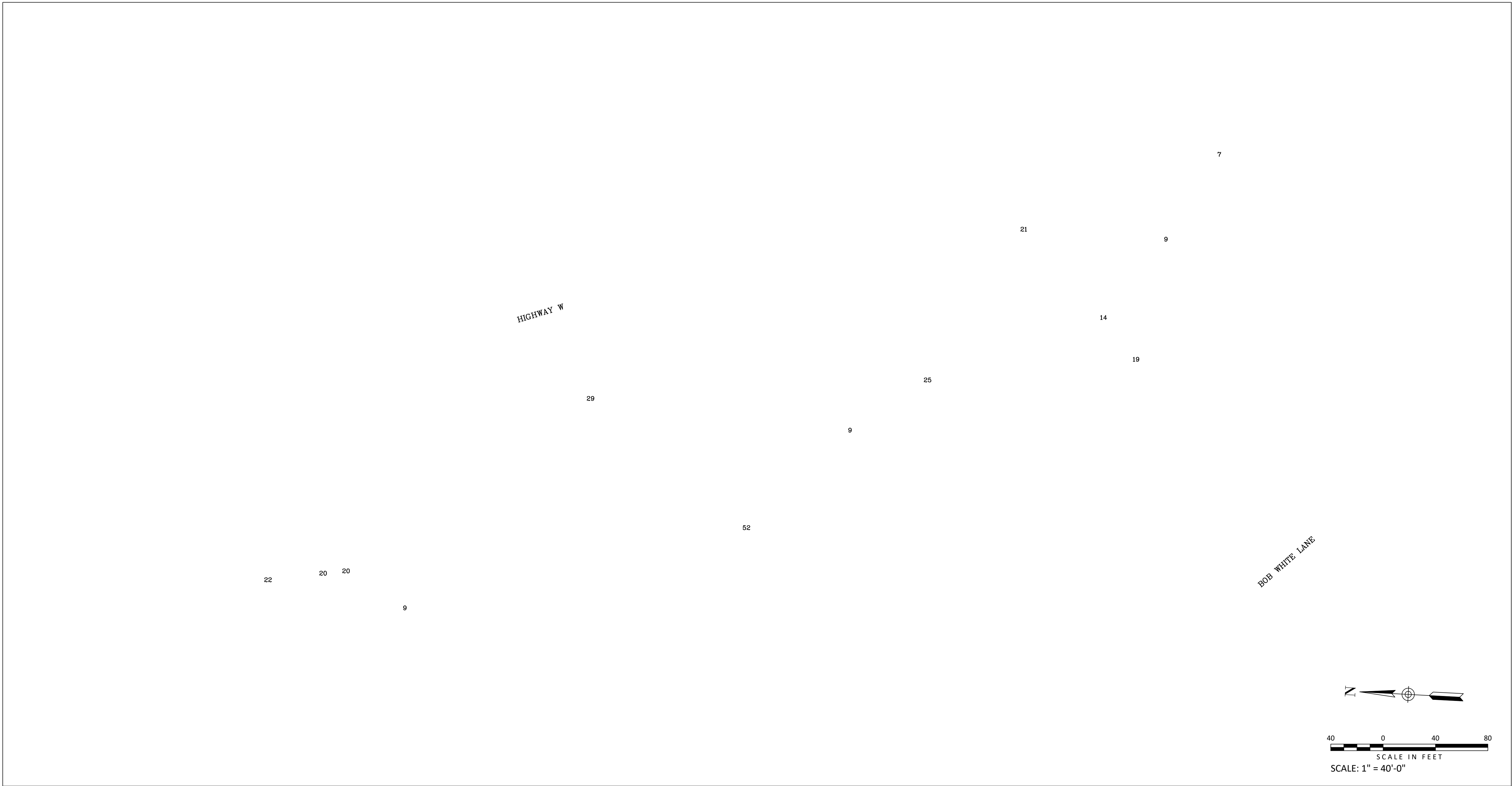
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10/15/2023



TRAFFIC CONTROL PLAN

SCALE: 1" = 40'

GENERAL NOTES:

1.

THE NEAREST MAJOR INTERSECTION TO BOTH ENTRANCES/EXITS FOR THE PROPOSED SITE IS OVER A HALF-MILE AWAY. NO MAJOR INTERSECTIONS OR LIGHTS ARE REQUIRED FOR THIS SITE AT THE ENTRANCES.
2.

ALL PARKING STALLS ARE TO BE PAINTED WITH 4” WIDE STRIPES OF WHITE PAINT, OR APPROVED EQUIVALENT.
3.

ALL ADA HANDICAP PARKING STALLS ARE TO BE PAINTED WITH THE CORRECT DIMENSIONS AND HANDICAP SYMBOLS PER ADA CODE.
4.

CONTRACTOR TO DETERMINE WHERE BEST TO PAINT CROSSWALKS/SPEED BUMPS ACROSS THE LOT TO MITIGATE TRAFFIC SPEED AND CONGESTION WITH PEDESTRIANS.
5.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER EXTERIOR LIGHTING OVER THE ENTIRETY OF THE DEVELOPED LOT PER CITY CODE. LED LIGHT SOURCING IS RECOMMENDED FOR ENERGY CONSERVATION, AS WELL AS PROPER PLACEMENT OF LIGHT POLES FOR SAFETY OF PEDESTRIANS AND DRIVERS AT NIGHT. IT IS REQUIRED THAT LIGHTS BE PLACED AS TO NOT PRODUCE A GLARE TO ADJACENT LOTS.
6.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A 6” TALL CURB ON THE PERIMETER OF THE PAVED SITE AS NECESSARY.
7.

THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SIGNAGE DURING AND AFTER CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SIGNAGE FOR EXISTING AND PROPOSED UTILITIES, TRAFFIC CONTROL, ADA HANDICAP, AND CROSSWALKS.
8.

PROVIDED LOADING/UNLOADING SPACES SHALL BE USED ONLY FOR THOSE MOVING INTO THE PROPERTY OR TEMPORARILY USING THE SPACE TO LOAD OR UNLOAD THEIR VEHICLES. LONG-TERM OR OVERNIGHT PARKING IS NEVER PERMITTED IN THESE SPACES.
9.

PER CITY CODE, THERE IS TO BE A MINIMUM OF 10’ BETWEEN ALL PROPOSED BUILDINGS.
10.

ALL SIDEWALKS SHALL BE 5’ WIDE AND ADA COMPLIANT TO ENTRANCES. CONTRACTOR TO DETERMINE WHERE TO FIT PROPER SIDEWALKS IN CONJUNCTION WITH ADA HANDICAP RAMPS.

PARKING DETAILS	
DETAIL	VALUE
UNITS/BUILDING	8
PARKING STALLS/UNIT	2
# OF BUILDINGS	16
REQUIRED PARKING STALLS	256
TOTAL PARKING STALLS	256
REQUIRED ADA HANDICAP STALLS	3% OF TOTAL, 9
TOTAL ADA HANDICAP STALLS	16

TRAFFIC CONTROL DETAILS	
DETAIL	VALUE
PEAK ENTRANCE/EXIT TRAFFIC, CARS/HR	30-40
PEAK NEARBY ROAD TRAFFIC (HWY W), CARS/HR	300

LEGEND:

- PROJECT BOUNDARY
- SITE BOUNDARY
- OHE

OVERHEAD ELECTRIC
- TREELINE
- 10

PARKING SPOTS IN ROW

DESIGNED:
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BB

SEALS:

10/15/2023

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PROJECT NAME:
VAN EDEN MOUNTAIN HOME

PROJECT PHASE:
PRELIMINARY DESIGN

SHEET NAME:
TRAFFIC CONTROL PLAN

DRAWING SCALE:

1" = 40'

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DATE:

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C-09 of 11

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DETAIL - RETAINING WALL

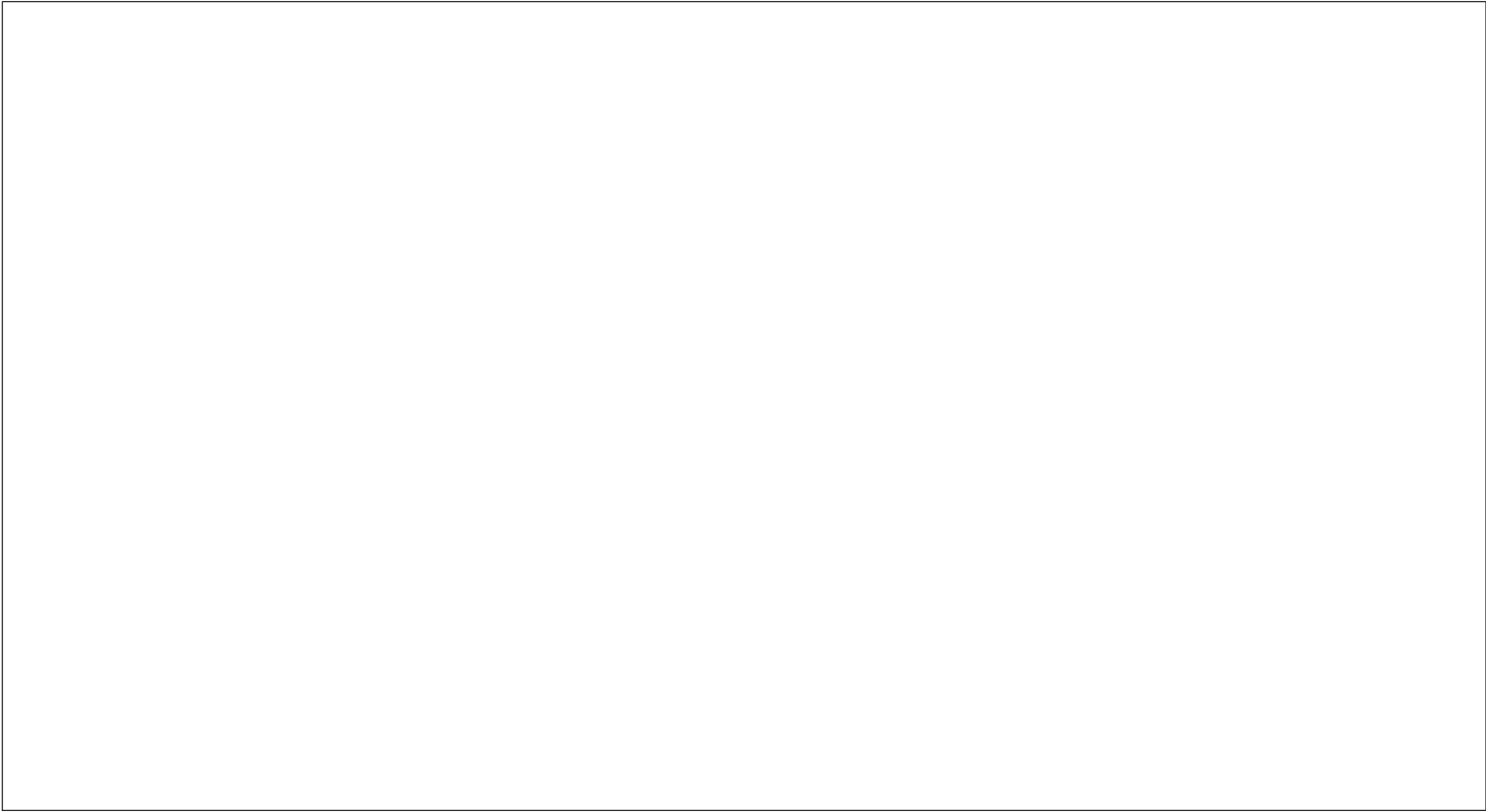
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GENERAL NOTES:

1. THE MAIN SECTION OF RETAINING WALL WILL BE BETWEEN THE UPPER AND LOWER GRADES OF THE MAIN SITE. ON THE WEST END OF THE SITE, THE LOWER GRADE WILL HOLD 4 BUILDINGS WITH A GRADE APPROXIMATELY 7- FEET LOWER THAN THE UPPER GRADE WITH A 7- FOOT TALL RETAINING WALL IN BETWEEN THE UPPER GRADE BUILDINGS’ BACK YARDS AND THE LOWER GRADE BUILDINGS’ FRONT YARDS/WALKWAYS.
2. THE SECOND SECTION OF RETAINING WALLS WILL BE ON THE PERIMETER OF THE DEVELOPED SITE ALONG THE WEST SIDE, SOUTH SIDE, AND LOWER PART OF THE EAST SIDE. THE PROPOSED GRADE OF THE OVERALL SITE WILL STILL SLOPE SOUTH AND TO THE WEST AND DISCHARGE INTO THE LAKE. THE HEIGHT OF THIS SECTION OF WALL WILL RANGE FROM 6” AT GRADE TO A MAXIMUM OF 20 FEET. THE FOOTING SHALL BE SCALED ACCORDINGLY TO SAFELY RETAIN THE FULL WEIGHT OF THE BACKFILL AND STRUCTURE.
3. ASDF

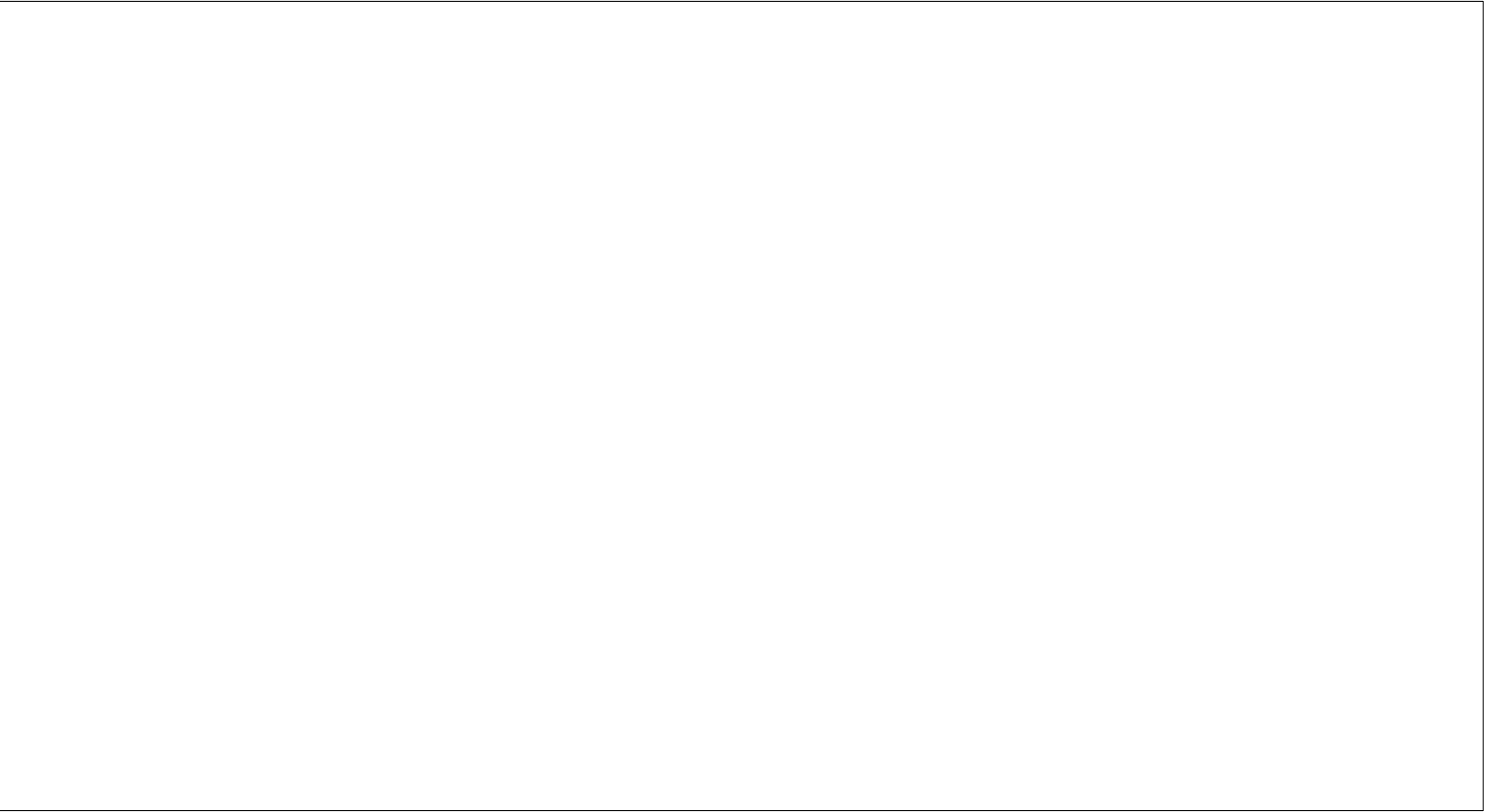
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SEALS:		10/15/2023	
ENGINEER:		ANSOM OUTDOOR LLC 333 VAN EDEN IDAHO SPRINGS, CO. 80524 ANSOMOUTDOORLLC@GMAIL.COM (720) 506-9004	
CLIENT/OWNER:		BIG PINES REAL ESTATE LLC 53 NORTH SHORE DR LAKE OZARK, MO 65049 WARDVAN@GMAIL.COM (913) 915-6407	
PROJECT NAME: VAN EDEN MOUNTAIN HOME	PROJECT PHASE: PRELIMINARY DESIGN	SHEET NAME: DETAIL - RETAINING WALL	
DRAWING SCALE: N.T.S. 1" Note: Sheet is printed full size at 22"x34". The guide scale above will print 1" length, otherwise scale accordingly.			
DATE: 10/15/2023			
SHEET NUMBER: C-10 of 11			

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CONSTRUCTION



DETAIL - LIFT STATION PLAN

N.T.S.



DETAIL - LIFT STATION PROFILE

N.T.S.

GENERAL NOTES:

- ** DRAFT
5. ALL PR. WATERLINE TO BE INSTALLED AT MINIMUM 5’ DEPTH, PER ASTM XXX.
6. ALL PR. WATERLINE MATERIALS TO BE
- 7.
- 8.



DRAWING SCALE:

N.T.S. 1"

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DATE:

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SHEET NUMBER:

C-11 of 11

PROJECT NAME:
VAN EDEN MOUNTAIN HOME

PROJECT PHASE:
PRELIMINARY DESIGN

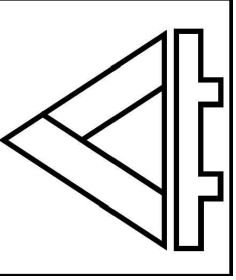
SHEET NAME:
DETAIL - LIFT STATION

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